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Document Type	Plan
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<h1>PLAN OF SUBDIVISION</h1>	EDITION 11	<h1>PS809254J</h1>
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<p>LOCATION OF LAND</p> <p>PARISH: YERING</p> <p>TOWNSHIP:</p> <p>SECTION:</p> <p>CROWN ALLOTMENT:</p> <p>CROWN PORTION: 31 (PART)</p> <p>TITLE REFERENCE: Vol. 11971 Fol. 012</p> <p>LAST PLAN REFERENCE: Lot E on PS742091F</p> <p>POSTAL ADDRESS: Chirnside Drive (at time of subdivision) CHIRNSIDE PARK 3116</p> <p>MGA 94 CO-ORDINATES: E: 352 150 ZONE: 55 (of approx centre of land in plan) N: 5820 190</p>	<p>Council Name: Yarra Ranges Shire Council</p> <p>Council Reference Number: SC-2016/669/(St6) Planning Permit Reference: YR-2016/669 SPEAR Reference Number: S105433E</p> <p>Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 06/06/2018</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has been satisfied</p> <p>Digitally signed by: Tracey Pascoe for Yarra Ranges Shire Council on 06/12/2018</p> <p>Statement of Compliance issued: 27/02/2019</p>
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VESTING OF ROADS AND/OR RESERVES		NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON	Lots 6001 - 6081 (both inclusive) on this plan may be affected by one or more restrictions. Refer to Creation of Restrictions A & B on Sheets 9, 10, & 11 of this plan for details.	
ROAD R1 Reserve No. 1, 2, 3 & 4	Shire of Yarra Ranges Shire of Yarra Ranges		
NOTATIONS		<p>OTHER PURPOSE OF PLAN</p> <ol style="list-style-type: none"> To remove the drainage and sewerage easements shown marked E-6 and E-12 on PS742091F in so far as they are not shown on this plan. To remove that part of easement E-4 created on PS742091F in so far as it is not shown on this plan. To remove the Powerline Easement shown marked E-11 and E-12 on PS742091F. <p>GROUND FOR REMOVAL: By direction in Planning Permit No. YR 2016/669.</p>	
DEPTH LIMITATION: Does Not Apply			
SURVEY: This plan is based on survey in BP2670F. STAGING: This is not a staged subdivision. Planning Permit No. YR 2016/669			
<p>CLOVERLEA ESTATE - Release No. 6</p> <p>Area of Release: 4.511ha No. of Lots: 81 Lots</p>			

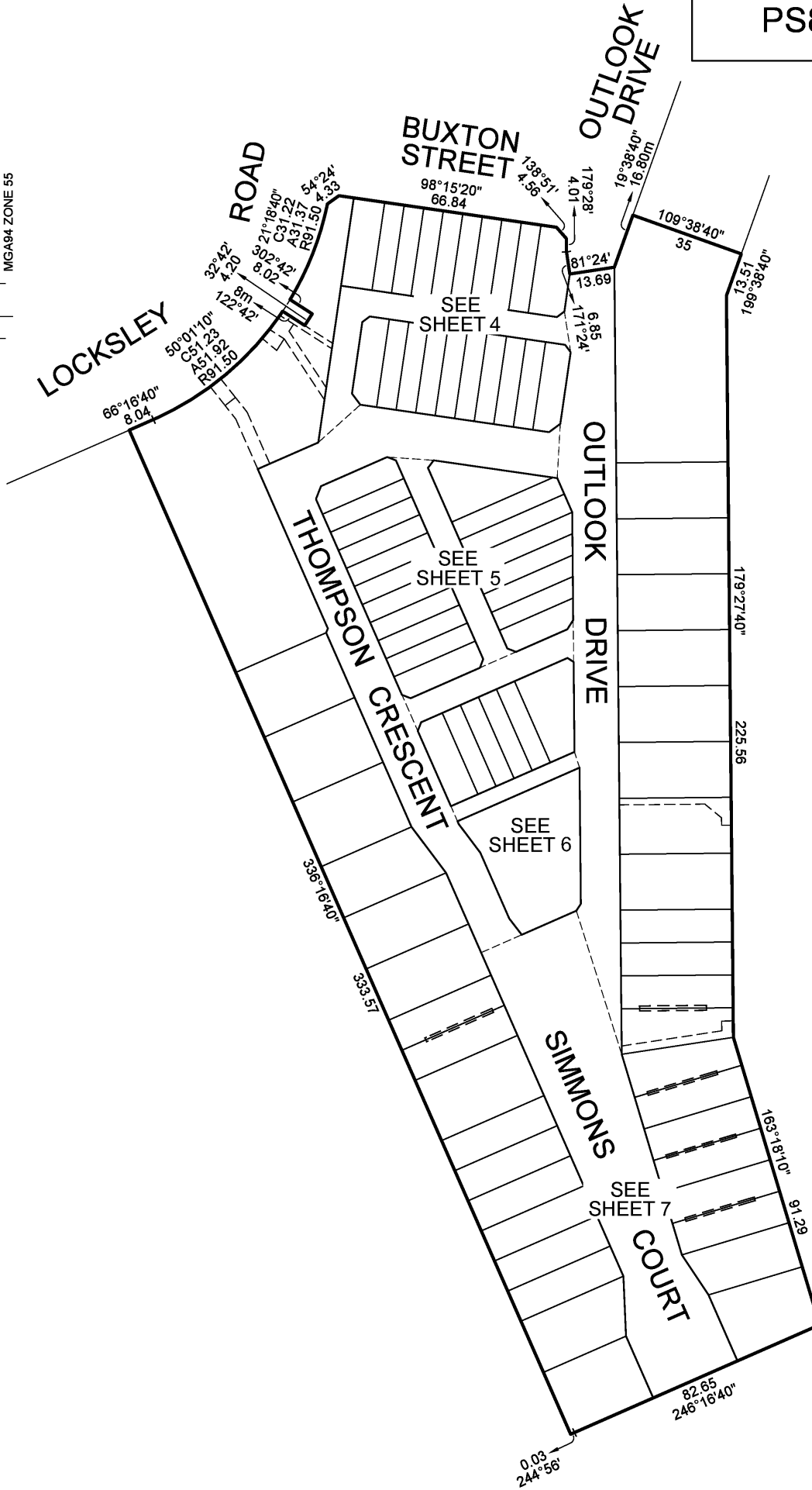
EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	Powerline (underground cable)	1.50m	This Plan Section 88 Electricity Industry Act 2000	Ausnet Electricity Services Pty Ltd
E-2	Water Supply (Through underground pipes)	4m	PS742091F	Yarra Valley Water Corporation
	Recycled Water Supply (Through underground pipes)			
E-3	Sewerage	See Diag.	PS742091F	Yarra Valley Water Corporation
E-4	Water Supply (Through underground pipes)	4m	This Plan	Yarra Valley Water Corporation
	Recycled Water Supply (Through underground pipes)			
E-5	Drainage	See Diag.	This Plan	Shire of Yarra Ranges
E-6	Sewerage	See Diag.	This Plan	Yarra Valley Water Corporation
E-7	Party Wall	0.15m	AT181084Q	LOT 6072 ON THIS PLAN
E-8	Party Wall	0.15m	AT181084Q	LOT 6073 ON THIS PLAN

<p>Urban Development Built Environments Infrastructure 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2800 Web: taylorssds.com.au</p>	SURVEYORS FILE REF: Ref. 00884-S6 Ver. 5	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 11
	Digitally signed by: Damian Leo Slattery , Licensed Surveyor, Surveyor's Plan Version (5), 28/11/2018, SPEAR Ref: S105433E		PLAN REGISTERED TIME: 3:49pm DATE: 4/3/2019 Assistant Registrar of Titles

PS809254J



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SCALE 1:1250
 12.5 0 12.5 25 37.5 50
 LENGTHS ARE IN METRES

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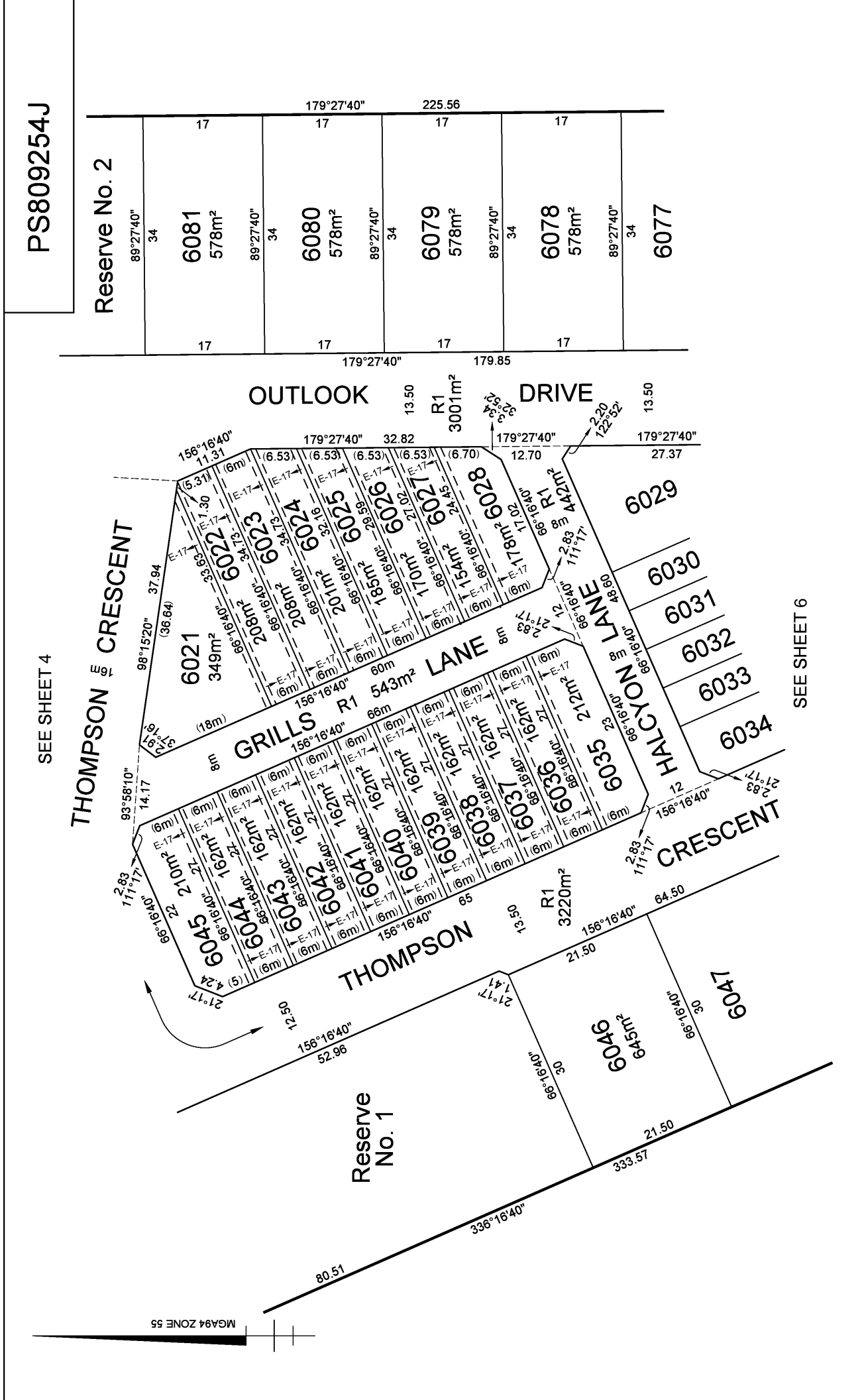
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SHEET 3

PS809254J

Reserve No. 2

89°27'40"	17	179°27'40"	225.56
34	6081	17	17
578m ²		17	17
89°27'40"	34	6080	17
578m ²		17	17
89°27'40"	34	6079	17
578m ²		17	17
89°27'40"	34	6078	17
578m ²		17	17
89°27'40"	34	6077	17



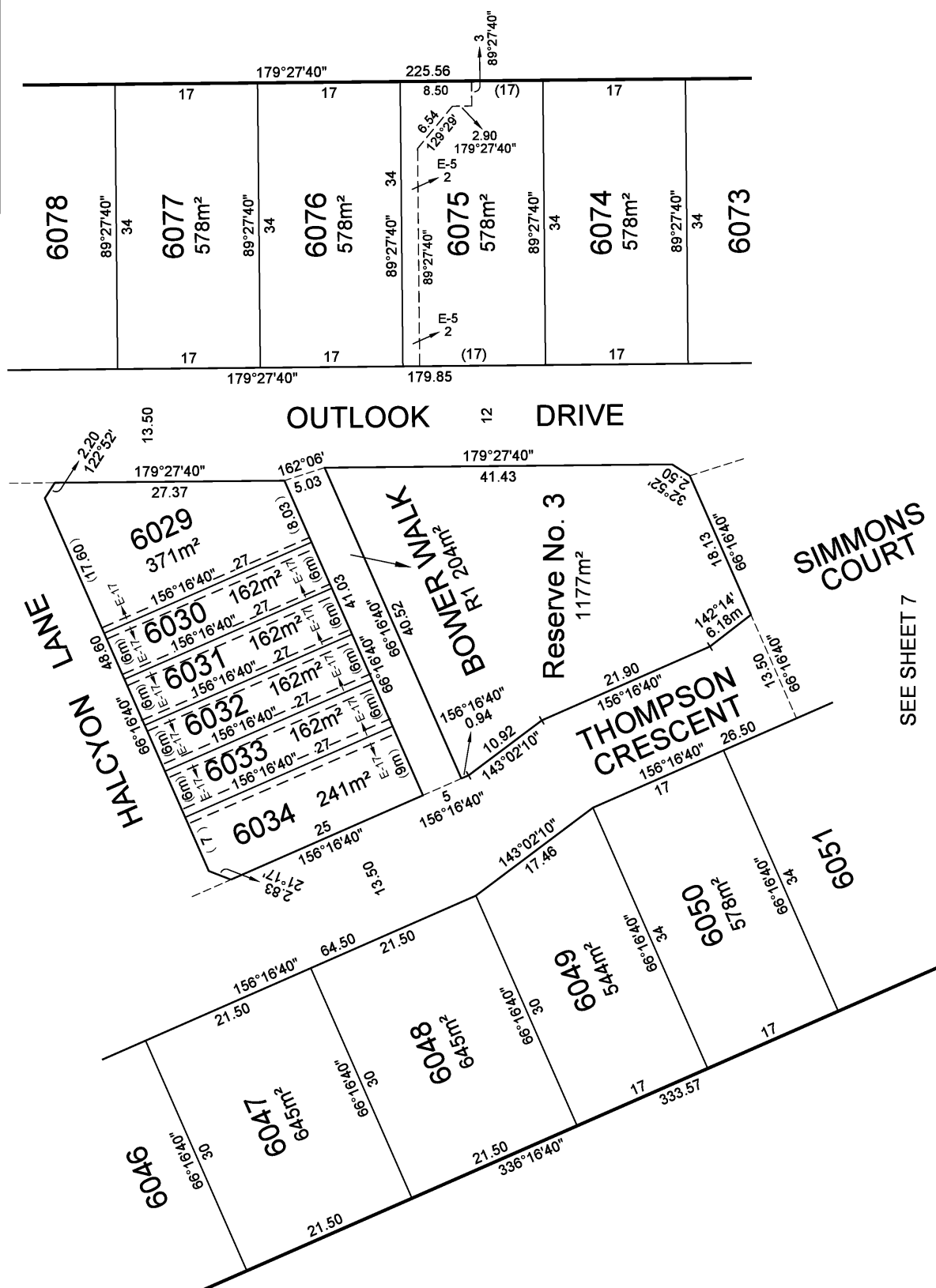
SEE SHEET 4

SEE SHEET 6

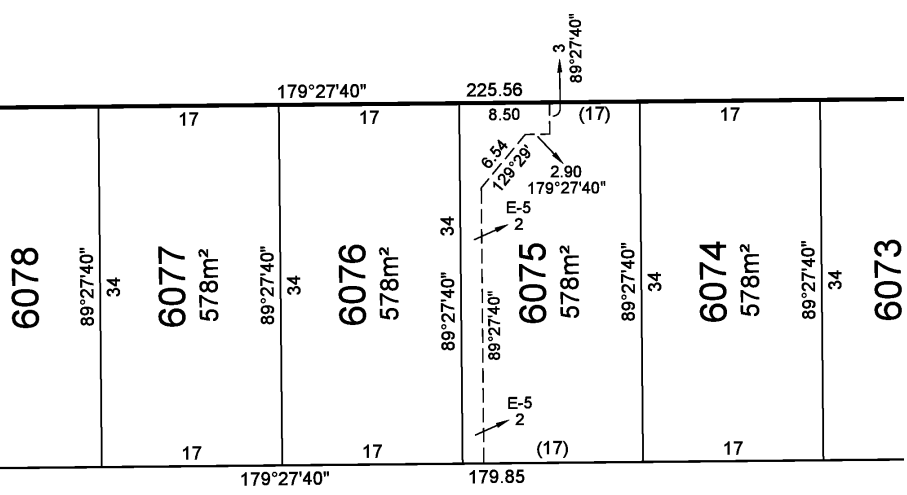
<p>SCALE 1:500 LENGTHS ARE IN METRES</p>	ORIGINAL SHEET SIZE: A3	Ref. 00884-S6 Ver. 5	SHEET 5
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SEE SHEET 5



SEE SHEET 7

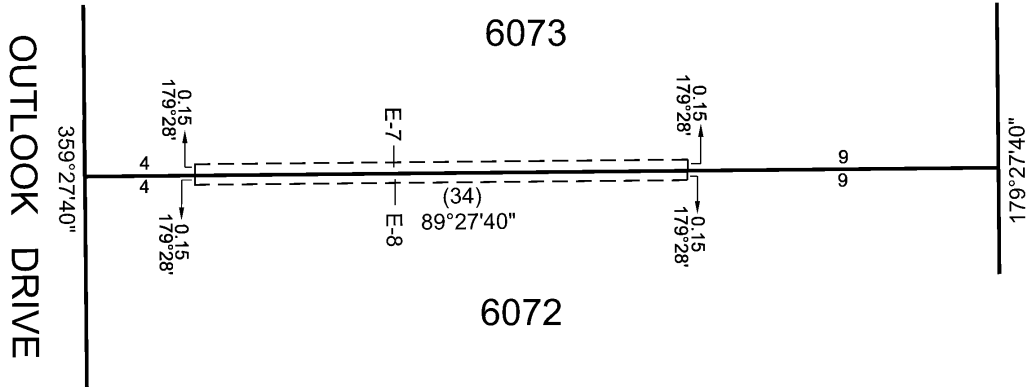


SCALE 1:500	5 0 5 10 15 20 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	Ref. 00884-S6 Ver. 5	SHEET 6
		Digitally signed by: Damian Leo Slattery, Licensed Surveyor, Surveyor's Plan Version (5), 28/11/2018, SPEAR Ref: S105433E		
SEE SHEET 5		SEE SHEET 7		TAYLORS Urban Development Built Environments Infrastructure 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2800 Web: taylorssds.com.au

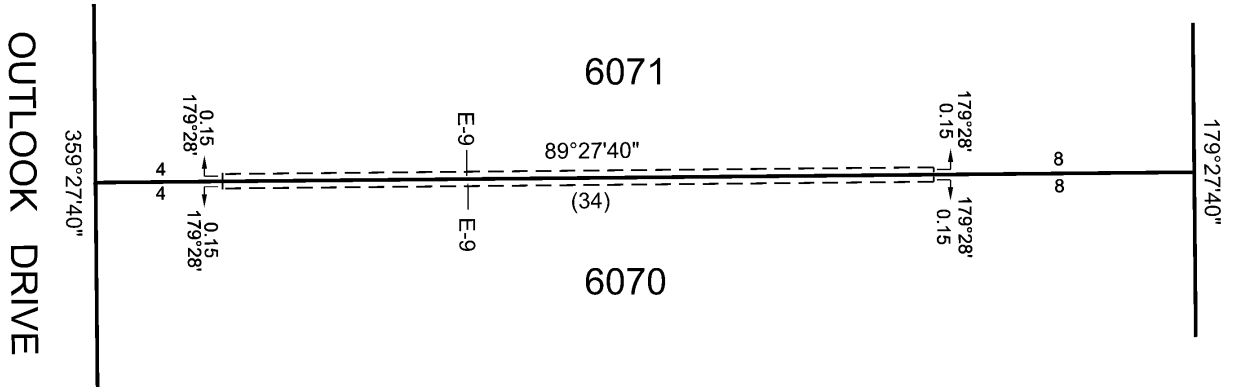
PLAN OF SUBDIVISION

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ENLARGEMENT 1 NOT TO SCALE



ENLARGEMENT 2 NOT TO SCALE



LENGTHS ARE IN METRES

SCALE

SHEET 8

PS809254J

CREATION OF RESTRICTION 'A'

The following Restriction is to be created upon Registration of this plan.

LAND TO BE BURDENED: See Table 1
 LAND TO BENEFIT: See Table 1

TABLE 1

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN	BENEFITING LOTS OUTSIDE THIS PLAN
6046	6047	Lots 612 & 613 on LP68218
6047	6046, 6048	Lots 613 & 614 on LP68218
6048	6047, 6049	Lots 614 & 615 on LP68218
6049	6048, 6050	Lots 615 & 616 on LP68218
6050	6049, 6051	Lots 616 & 617 on LP68218
6051	6050, 6052	Lots 617 & 618 on LP68218
6052	6051, 6053	Lot 618 on LP68218
6053	6052	Lots 618 & 619 on LP68218
6054	6055	Lot 620 on LP68218
6055	6054, 6056	Lots 620 & 621 on LP68218
6056	6055, 6057	Lot 621 on LP68218
6057	6056, 6058	Lots 621 & 622 on LP68218
6058	6057, 6059	Lot 622 on LP68218
6059	6058, 6060	Lots 622 & 623 on LP68218
6060	6059, 6061	Lot 623 on LP68218
6061	6060	Lots 623 & 624 on LP68218 Lots 988 & 889 on LP63910
6062	6063	Lots 991 & 992 on LP63910 Lot 1016 on LP65339
6063	6062, 6064	Lot 1017 on LP65339

TABLE 1 continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN	BENEFITING LOTS OUTSIDE THIS PLAN
6064	6063, 6065	Lots 1017 & 1018 on LP65339
6065	6064, 6066	Lot 1018 on LP65339
6066	6065, 6067	Lots 1018 & 1019 on LP65339
6067	6066, 6068	Lot 1019 on LP65339
6068	6067, 6069	Lots 1019 & 1020 on LP65339
6069	6068, 6070	Lot 1020 on LP65339
6070	6069, 6071	Lots 1020 & 1021 on LP65339
6071	6070, 6072	Lot 1021 on LP65339
6072	6071, 6073	Lots 1021 & 1022 on LP65339
6073	6072, 6074	Lot 1022 on LP65339
6074	6073, 6075	Lots 1022 & 1023 on LP65339
6075	6074, 6076	Lots 1023 & 1024 on LP65339
6076	6075, 6077	Lots 1024 & 1025 on LP65339
6077	6076, 6078	Lots 1025 & 1026 on LP65339
6078	6077, 6079	Lots 1026 & 1027 on LP65339
6079	6078, 6080	Lots 1027 & 1028 on LP65339
6080	6079, 6081	Lots 1028 & 1029 on LP65339
6081	6080	Lot 1029 on LP65339

DESCRIPTION OF RESTRICTION

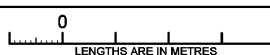
The registered proprietor or proprietors for the time being of any burdened lot shall not:

- Construct or allow to be constructed on the land any dwelling, including garages and outbuildings other than in accordance with the approved design guidelines and covenants contained in the Memorandum of Common Provisions Dealing Number AA4210
- Construct or allow to be constructed any dwelling, including garages and outbuildings, outside the building envelopes shown on Sheet 8 of this plan (excluding allowable projecting building elements that project outside the building envelopes as contained in Part 4 Regulation 409(3), 414(3) and 414(4) of the Building Regulations 2006)
- Construct or allow to be constructed any dwelling, including garages and outbuildings, outside the height of a 3D building envelope as prescribed in the provisions of Clauses 54.03, 54.04 and 56.04 of the Victoria Planning Provisions (excluding allowable projecting building elements as specified in the said Clauses).



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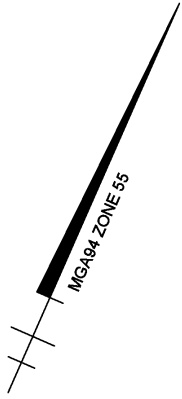
SHEET 9

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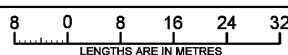
BUILDING ENVELOPE SCHEDULE

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SCALE
1:800



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SHEET 10

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 SPEAR Ref: S105433E

CREATION OF RESTRICTION 'B'

The following Restriction is to be created upon Registration of this plan.

LAND TO BE BURDENED: See Table 2
 LAND TO BENEFIT: See Table 2

TABLE 2

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
6001	6002
6002	6001, 6003
6003	6002, 6004
6004	6003, 6005
6005	6004, 6006
6006	6005, 6007
6007	6006, 6008
6008	6007, 6009
6009	6008, 6010
6010	6009
6011	6012
6012	6011, 6013
6013	6012, 6014
6014	6013, 6015
6015	6014, 6016
6016	6015, 6017
6017	6016, 6018
6018	6017, 6019
6019	6018, 6020
6020	6019
6021	6022
6022	6021, 6023
6023	6022, 6024

TABLE 2 continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
6024	6023, 6025
6025	6024, 6026
6026	6025, 6027
6027	6026, 6028
6028	6027
6029	6030
6030	6029, 6031
6031	6030, 6032
6032	6031, 6033
6033	6032, 6034
6034	6033
6035	6036
6036	6035, 6037
6037	6036, 6038
6038	6037, 6039
6039	6038, 6040
6040	6039, 6041
6041	6040, 6042
6042	6041, 6043
6043	6042, 6044
6044	6043, 6045
6045	6044

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot shall not:

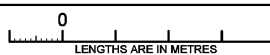
1. Construct or allow to be constructed on the land any dwelling, including garages and outbuildings other than in accordance with the approved design guidelines and covenants contained in the Memorandum of Common Provisions Dealing Number AA4210
2. Construct or allow to be constructed any dwelling, including garages and outbuildings outside the 3D building envelopes as prescribed in the provisions of Clauses 54.03, 54.04 and 56.04 of the Victoria Planning Provisions (excluding allowable projecting building elements as specified in the said Clauses).

This Restriction shall cease to have effect five years after this Plan of Subdivision has been registered.



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